

University of Saint Joseph Athletic Field Renovations

West Hartford, Connecticut

Town of West Hartford
Town Plan & Zoning / Inland Wetlands and Watercourses Agency

Special Use Permit (#1336) - RESUBMISSION

March 28, 2019
Project # 19014

Submitted by:
SMRT Architects and Engineers
877.700.7678
smrtinc.com

University of Saint Joseph – Athletic Field Renovations

Special Use Permit (#1336) – RESUBMISSION (03.28.19)

TABLE OF CONTENTS

1. Special Use Permit Application
2. Exhibit A – Site Narrative
3. Exhibit B – Field Lighting Use Policy & Athletic Light Fixture Information
4. Exhibit C – Neighborhood Outreach Information
5. Plan Set (under separate cover)



DEPARTMENT OF COMMUNITY
DEVELOPMENT
PLANNING DIVISION
TOWN OF WEST HARTFORD
50 SOUTH MAIN STREET
WEST HARTFORD, CT 06107-2431
TEL: 860.561.7555 FAX: 860.561.7504
www.westhartfordct.gov

PERMIT APPLICATION FOR: (check one of the following)

☐ Lot Split ☒ Special Use Permit ☐ Site Plan
☐ Lot Line Revisions ☐ Subdivision ☐ Building Line

FOR OFFICE USE ONLY:

File #: _____ Date Received: _____
Street Address of Proposed Application: _____
Zone: _____ Acreage/Lot Area: _____ Parcel/Lot#: _____
Application Fee: _____ Surcharge Fee: _____ Affidavit Fee: _____

Applicant's Interest in Property: Owner

Brief Description of Proposed Activity: Removal of existing running track and natural grass field
and construction of a new synthetic turf in its place. Construction of new athletic light poles.

The undersigned warrants the truth of all statements contained herein and in all supporting documents to the best of his/her knowledge and belief. Furthermore, the applicant agrees that submission of this document constitutes permission and consent to Commission and Staff inspections of the site. *Note: Notice is hereby given the Connecticut Department of Public Health must be notified by applicants for any project located within a public water supply aquifer protection area or watershed area. (CTDPH website at <http://www.dph.state.ct.us>)*

University of Saint Joseph
Record Owner's Name
1678 Asylum Avenue
Street
West Hartford CT 06117
City State Zip
860-231-5220
Telephone #

Contact Person:

Shawn Harrington
Name
1678 Asylum Avenue
Street
West Hartford CT 06117
City State Zip
860-231-5220
Telephone #

Same as owner
Applicant's Name

Street

City State Zip

Telephone #

Applicant's Signature

Signature of Owner/Authorized Agent

sharrington@usj.edu
Email Address

University of Saint Joseph – Athletic Field Renovations

Special Use Permit (#1336) – RESUBMISSION (03.28.19)

Exhibit A – Site Narrative

A. Project Summary

The University of Saint Joseph seeks approval from the Town of West Hartford for the construction of a new multi-sport synthetic turf field and upgraded field lighting. Athletics are an integral component of student life at Saint Joseph's, and the University is looking to enhance and upgrade its current amenities. The proposed project development area is located at the northwest end of campus, within the footprint of the existing track and field. The track and natural grass field are in poor condition, and the University intends to remove these amenities and replace them with one new, lighted, multi-purpose synthetic turf field to support the University's field hockey, soccer, and lacrosse programs.

The construction of the new synthetic turf field will occur entirely within previously disturbed areas. There will be no impact to surrounding trees, vegetation, or parking areas, and there will be no significant changes to actual land uses on the site. The following narrative highlights the existing site conditions, the proposed improvements, and the measures that will be taken in order to control stormwater, erosion, and sedimentation.

B. Existing Site Conditions

Property Information

Address: 1678 Asylum Ave, New Haven, CT
Parcel ID: 0181 2 1678 0001
Lot Area: 88.48 acres
Development Area: 3.1 acres
Zone: R-10
Map No: G6



Project Development Area – Aerial Context

Context

The University of Saint Joseph is located at 1678 Asylum Avenue in West Hartford, CT and is bounded by Albany Avenue to the north, Steele Road to the east, and Trout Brook Drive to the west. The project development area is located at the northwest end of the campus, due west of the O’Connell Athletic Center. Six (6) existing tennis courts are located to the north of the development area, an asphalt walkway lines the eastern edge, and parking areas are located to the south. The development area currently consists of a 400-meter synthetic surfaced running track, and a natural grass multi-sport athletic field.

Topography

The existing natural grass field is crowned with a one and a half to two (1.5-2.0) percent pitch, draining east and west towards the track (center of field elevation: 105.75). To the north of the track and field, the topography slopes upwards approximately six (6) feet to the tennis courts (elevation: 112.00). To the east of the track and field the grade pitches down into a swale and then upwards three feet to an asphalt walkway/access drive (elevation: 106.00). To the south and west, the topography slopes down approximately three to four feet into the woodlands and wetland pockets (elevation 100.00).

Vegetation

On site vegetation consists of a relatively dense broadleaf stand of trees on the west side of the project development area. Trees mainly consist of White Oak (*Quercus alba*), Red Oak (*Quercus rubra*), Red Maple (*Acer rubrum*), White Pine (*Pinus strobus*), and Eastern Redcedar (*Juniperus virginiana*). This stand of vegetation provides an excellent buffer between the project development area and the abutting properties to the west. There is a limited amount of vegetation to the north, east, and west.

C. Proposed Construction Activities

Synthetic Field Construction

The main component of the project is the construction of a new synthetic turf field. This new field will provide the University with a level/consistent playing surface, greater flexibility for the athletic department, and less maintenance for the facilities department.

Prior to the construction of the new field, the existing track surfacing and asphalt pavement will be demolished and removed from the site, except for the southern end (‘D-Zone’). This will remain in place to act as staging and laydown area for construction operations. The existing track and field base and subbase material will be removed and repositioned as a subbase material under the proposed field stone drainage material. The proposed synthetic turf field area will be stripped of all topsoil, graded to subgrade elevations, and covered with geotextile fabric. Perimeter collector pipes and drainage infrastructure will be installed in conjunction with a 12” section of compacted ‘dynamic stone’. Total depth of field improvements will be 18” in conformance with geotechnical engineer recommendations. The synthetic turf and infill material will be installed on approved stone bases, completing the field construction sequence. See Sheet CL501 for specific details.

The proposed construction techniques will require the use of excavators, front end loaders, trucks, bulldozers and compactors for excavation/ fill placement on the site. No rock is expected to be encountered based on the geotechnical report. Erosion and sediment control requirements are included in the contract documents and meet state and local regulations.

Athletic Field Lighting

The six (6) existing athletic field lights will be removed and replaced with four (4) LED athletic field lights. The six existing light poles are approximately sixty (60) feet in height. The four proposed light poles will be seventy (70) feet in height in order to provide the NCAA minimum lighting standard. The height of the LED light fixtures provides increased capability to control off-field light spill and glare. The use of field lights for games shall end by 9:30pm on Friday and Saturday, and shall end by 8:30pm on Sunday through Thursday. Use of the lights for practices will end by 8:30pm and field lights will not be used for practices on Sundays. Please refer to Exhibit B in the Special Use Permit application package for additional information.

Electrical Improvements

In addition to the athletic field lighting, electrical improvements to the facility will include relocating the existing scoreboard (to provide better sightlines for spectators), and providing power to selected locations around the perimeter of the new field for scoring, timing, and streaming. The existing public address system will remain in place, and will only be used during games.

Drainage Improvements

The major adjustment to the existing drainage system is installation of the stone base section installed underneath the synthetic turf field. The structures and piping within the natural grass playing field will be removed. The proposed field drainage is collected with a series of underdrain piping and conveyed to the existing 36" diameter storm drain pipe via collector pipes on the east and west sides of the field. The 36" diameter storm drain pipe flows to the southwest, away from the project site. The pipe discharges into a wetland area located on the University campus.

In addition, a stormwater management storm-filter system will be installed to further address any issues related to zinc or other potential contaminants. The storm-filter is an underground treatment device that traps particulates and absorbs pollutants from stormwater runoff. Per the conclusions noted in the July, 2010 Connecticut Department of Environmental Protection final report "Artificial Turf Study – Leachate and Stormwater Characteristics", the DEP suggests that use of stormwater treatment measures, such as stormwater treatment wetlands, wet ponds, infiltration structures, compost filters, sand filters, and biofiltration structures may reduce the concentrations of zinc in the stormwater runoff from artificial fields to levels below the acute aquatic toxicity criteria. This report was re-affirmed in 2015.

Several of the existing yard drains will be replaced and new connections will be made to the turf drainage system. These structures will still convey the runoff from the north and west wetlands to the southern portion of the project site.

The Town of West Hartford Engineering Department has stated that the existing detention areas are in need of maintenance to ensure they function as originally designed. The University will conduct maintenance operations on the existing detention areas prior to the start of construction. Maintenance will include the removal of sediment accumulations, removal of invasive and undesirable vegetation growth, and the removal of any other debris or deleterious material.

Landscaping

The project development area is currently surrounded by mature trees and vegetation which will remain. All disturbed areas will be seeded or sodded. No additional landscaping improvements are proposed.

D. Neighborhood Outreach

A neighborhood outreach meeting was conducted on February 28th at 7:00pm at the University of Saint Joseph. The intent of the meeting is to inform all abutters about the project, and provide information on the proposed field lighting system. There were no attendees from the community at the meeting. Please refer to Exhibit C in the Special Use Permit application package.

E. Soil Erosion & Sediment Control

All site work will be constructed using best management practices in accordance with the Inland Wetlands and Watercourses Regulations of the Town of West Hartford, the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, and the 2004 Connecticut Stormwater Quality Manual.

To minimize the potential for pollution caused by soil erosion and sedimentation during and after construction, all site construction and inspection and post construction site maintenance will be guided by the provisions of the Sediment and Erosion Control Plan and specifications. The plan provides for construction controls to be implemented to prevent disturbance of wetland areas and the transportation of silt to the wetland as a result of construction activity.

Temporary controls will be implemented in accordance with the Connecticut Soil and Erosion Control Manual, including; dewatering filtration, silt sacks, silt fencing, and hay bales. Prior to permanent stabilization of the site, temporary controls upstream of connections to the outfall will be maintained to prevent siltation into the stormwater system. These controls include storm drainage inlet protection and silt fencing. Erosion and sediment control devices will be installed around any dewatering activity areas.

University of Saint Joseph – Athletic Field Renovations

Special Use Permit (#1336) – RESUBMISSION (03.28.19)

Exhibit B – Field Lighting Use Policy & Athletic Light Fixture Information



Use of University of Saint Joseph Field with Lights

For concerns or complaints – contact USJ Athletics: 860-231-5419 or Dept. of Public Safety 860-231-5222

Restrictions on Sound (For Use of Field When Lights On):

- No loud music will be played through a sound system, in connection with games, practices or other activities.
- Only those horns and whistles required by game officials will be permitted. Spectators will not be permitted to use horns, whistles, bullhorns, or any other type of device that uses batteries, compressed air or some mechanism to produce noise.
- The public address system will not be used for practices.

Restrictions on Lighting (University Athletics):

- The use of field lights for games shall end by 9:30 PM on Friday and Saturday and shall end by 8:30 PM Sunday through Thursday. The University may permit an extension of this time for an NCAA playoff game, an overtime game or a game that extends for other unforeseen reasons beyond the noted time frame.
- Use of the lights for practices shall end by 8:30 PM.
- Field lights will not be used for practices on Sundays.

Restrictions on Lighting (Other Sporting Activities):

- The field lights may not be used for any event other than a University authorized sporting event.
- Use of the lights for non-game activities shall end by 8:30 PM.

Precast Concrete Base

Overview

The precast concrete base is set directly into the ground, backfilled with concrete, and allowed to cure for 12 to 24 hours. The base is designed for easy slip-fit connection to the galvanized steel pole. The remaining components — steel pole, poletop luminaire assembly, electrical components enclosure, and wire harness — are assembled as a unit and set onto the base. The base includes an integrated lightning ground system.

Tools/Materials Needed

Musco Supplied

- ☐ *Field Aiming Diagram*
- ☐ Musco *Foundation and Pole Assembly Drawing* or alternate foundation design
- ☐ Steel bar
- ☐ Wooden base wedges
- ☐ Level with shim for tapered base
- ☐ $\frac{5}{32}$ inch hex key

Contractor Supplied

- ☐ Conduit for underground wiring
- ☐ Concrete backfill
- ☐ Water pump (as needed)

Installation Procedure



Verify pole ID on concrete base matches pole location on *Field Aiming Diagram*.



For options on poor soil conditions, alternative installation methods, or if there are any issues with pole locations given, contact your local Musco representative. Your project engineer's name appears on *Field Aiming Diagram*.

Note: Use only project-specific foundation designs as detailed on Musco Foundation and Pole Assembly Drawing or alternate foundation design plan.

1

Mark pole locations per *Field Aiming Diagram*.

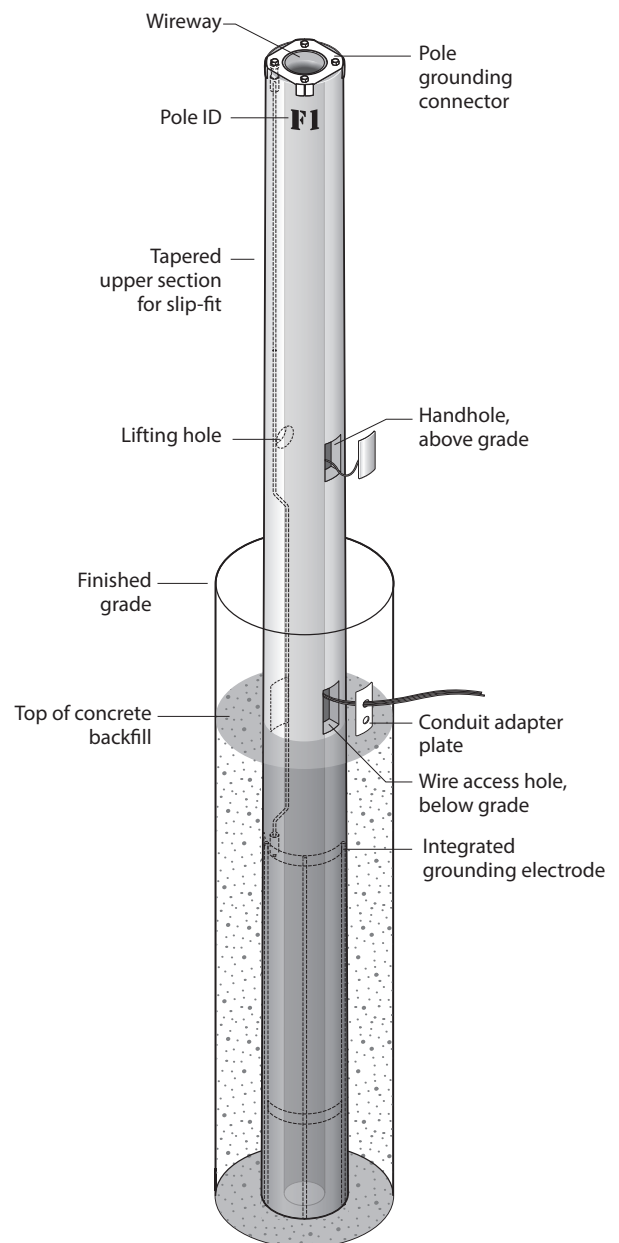
2

Excavate holes to size and depth given on Musco *Foundation and Pole Assembly Drawing* or alternate foundation design.



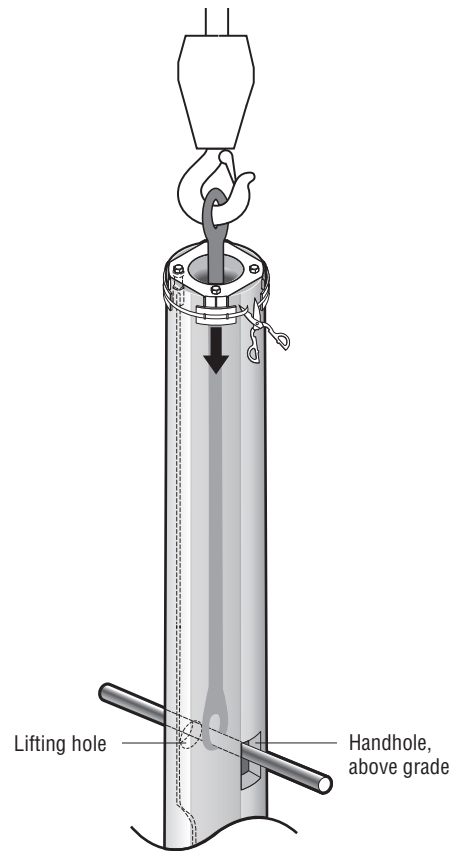
Warning
Fall hazard

Cover holes or install fencing for fall safety.



Precast Concrete Base

- 3** Sling and lower base into hole. Orient wire access hole to accommodate incoming supply wiring. Snip banding and remove tab protectors.



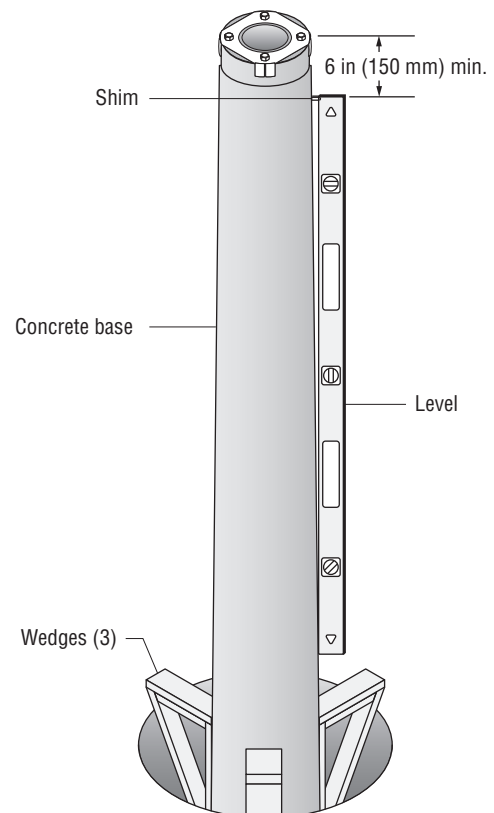
- 4** Plumb base and wedge into position. Use supplied level with shim on upper end against base. Shim accommodates taper of base. Top of base is beveled. Keep level at least 6 in (150 mm) from top when plumbing.

- 5** Remove any water from hole to avoid weakening foundation. Water in hole during concrete pour can also cause hollow center of base to fill with concrete.



If backfilling to finished grade with concrete instead of compacted fill, be sure to maintain wire access.

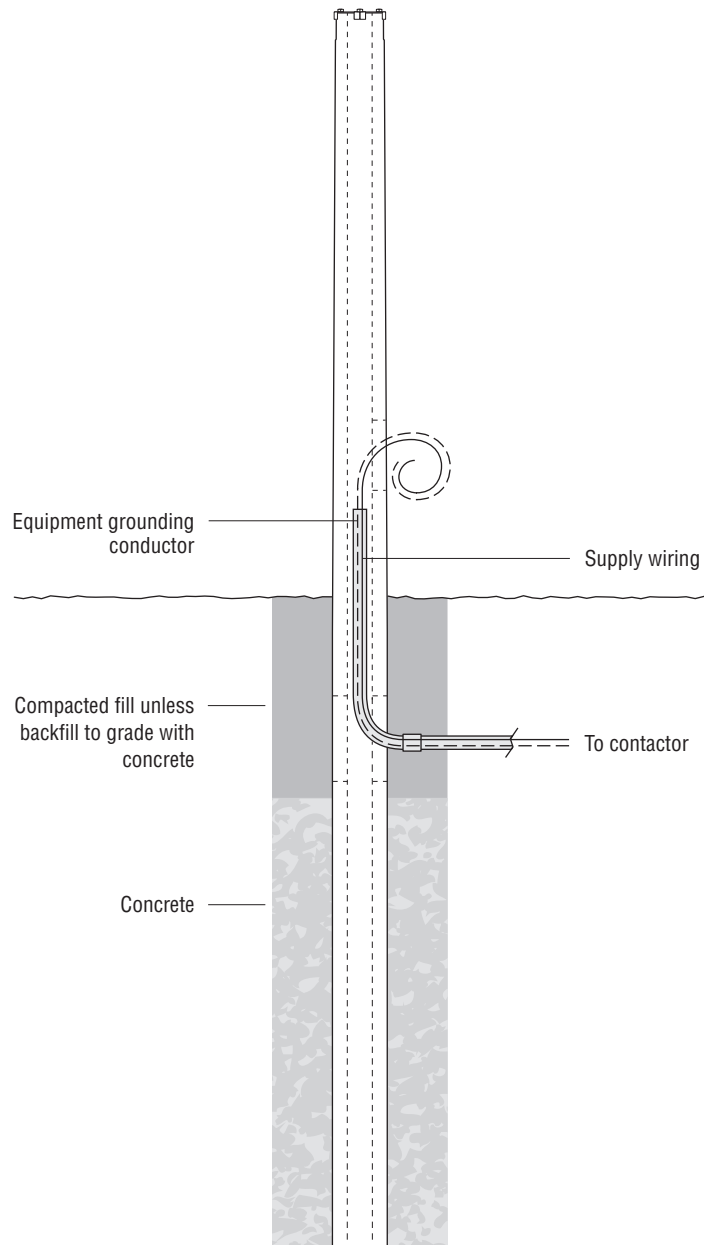
- 6** Backfill with concrete per *Musco Foundation and Pole Assembly Drawing* or alternate foundation design.



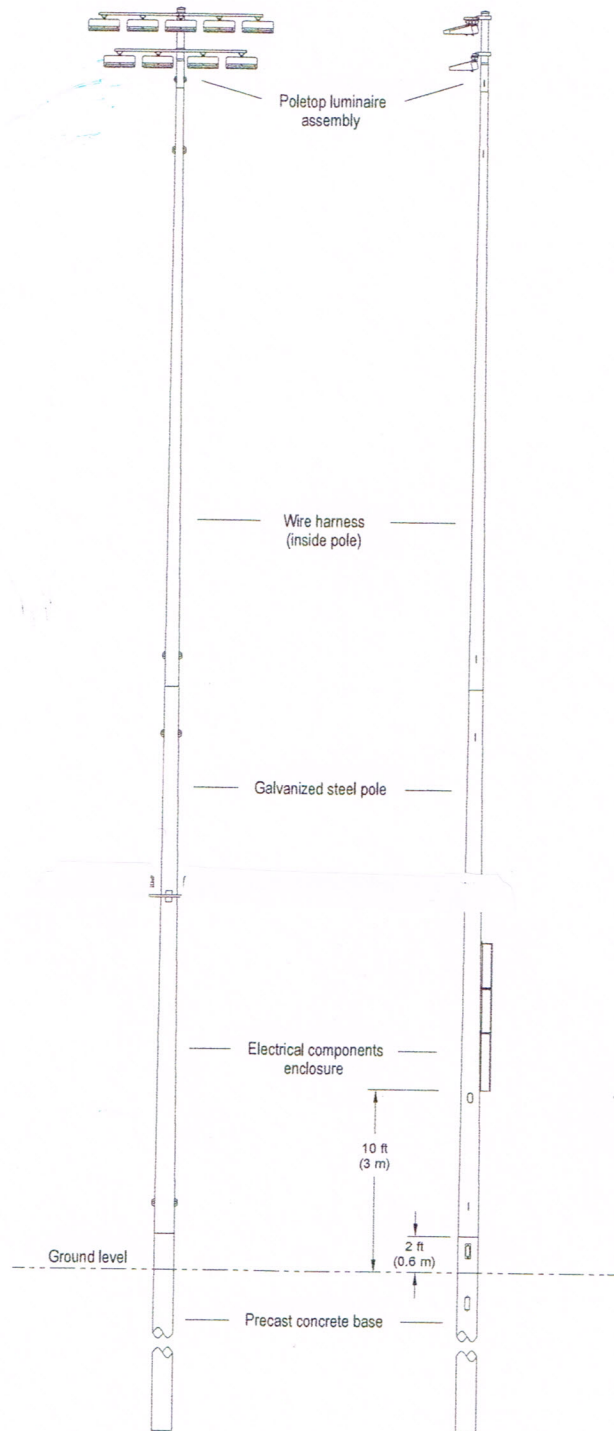
Precast Concrete Base

7 Have your electrician install all underground conduit and wiring, including equipment grounding conductor. Route wires up through base to handhole. Conduit adapter plates with knockouts are provided. You may also install wiring after standing pole.

8 Backfill with compacted soil to finished grade unless alternate foundation design requires concrete to finished grade.



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PRELIMINARY

Light-Structure System™ typical configuration
 TLC for LED® Luminaires



CORPORATE OFFICE:
 P.O. Box 606
 100 1st Avenue West
 Oskaloosa, Iowa 52577
 *1-800-825-6020
 *1-641-673-0411

CONFIRMATION	09
DESIGN TO	RMS
APPROVED BY	TDM
SCALE	Not to scale
DATE	10/16/18
DRAWING NUMBER	M-2151-4904-2.09

University of Saint Joseph – Athletic Field Renovations

Special Use Permit (#1336) – RESUBMISSION (03.28.19)

Exhibit C – Neighborhood Outreach Information



UNIVERSITY OF SAINT JOSEPH
CONNECTICUT

March 22, 2019

Mr. Todd Dumais
Town Planner
Town of West Hartford
50 South Main Street, Room 214
West Hartford, CT 06107

Dear Mr. Dumais,

I am writing to describe the efforts undertaken by the University of Saint Joseph to keep our immediate neighbors informed of our construction plans.

On February 21, 2019, we distributed a letter with attachment (see Attachment A) to a list of addresses for neighbors within 300 feet of the campus (see Attachment B) showing the project parameters to inform them of our plans and invite them to an informational meeting on campus on February 28, 2019. I also provided my contact information so that they could contact me directly with any questions.

On February 28, we held the meeting for neighbors from 7:00 to 8:00 p.m., but none of our neighbors attended. The minutes are Attachment C.

On March 10, we received an email from one of our neighbors, Mr. Thomas Mullaney. The email correspondence and the University's response dated March 15 together with a further reply from Mr. Mullaney dated March 18 is included as Attachment D.

On March 12, we received an email from another one of our neighbors, Mr. Allen Rost. The email and the University's response dated March 15 is included as Attachment E.

Additionally, signs noting the pending zoning hearing have been posted on our property.

Should you need any additional information about our efforts, please feel free to contact me at 860-231-5220 or via email at sharrington@usj.edu.

Thank you for your consideration.

Sincerely,

Shawn M. Harrington
Senior Vice President for Finance and Strategy

Enclosures



UNIVERSITY OF SAINT JOSEPH

CONNECTICUT

February 21, 2019

Dear Neighbor:

Re: Informational Meeting at USJ scheduled on Thursday, February 28, 2019 from 7-8 PM

I am writing to let you know about the next steps that we are undertaking to expand the athletic facilities and renovate the existing student center at the University of Saint Joseph (USJ), in support of the University's coeducational program offerings.

The University of Saint Joseph is seeking approval from the Town of West Hartford for the construction of a new multi-sport synthetic turf field and upgraded field lighting. Athletics are an integral component of student life at USJ, and the University wants to enhance and upgrade its current amenities. The proposed project development area is located at the northwest end of campus, within the footprint of the existing track and field. The track and natural grass field are in poor condition, and the University intends to replace them with one new, lighted, multi-purpose synthetic turf field. The construction of the new synthetic turf field will occur entirely within previously-disturbed areas. There will be no new impacts to surrounding trees, vegetation, or parking areas, and there will be no significant changes to actual land uses on the site. No additional parking is proposed as part of this project.

We are planning to install the synthetic turf field and upgraded field lighting in late spring 2019 with an estimated completion date of July 1, 2019. The Town Plan and Zoning Commission is scheduled to hold public hearings on our proposal on April 1, 2019.

Planning is also currently underway for design and construction of an addition to the O'Connell Athletic Center. In the near future, we will be updating neighbors on our plans to present this project to the Town Plan and Zoning and Inland Wetland Commissions.

In addition to the work planned to upgrade and expand the University's athletic facilities, renovations to the McGovern Student Center are scheduled to begin in May 2019. The proposed improvements will not include significant changes to the building footprint, or disturbance of Inland Wetland Review areas.

As we begin our work with the Town of West Hartford, we want to keep our neighbors informed of our plans. For this reason, I am inviting you to an informational meeting on Thursday, February 28, from 7-8 p.m. in the Coleman Lobby of the Bruyette Athenaeum on USJ's West Hartford campus at 1678 Asylum Avenue, to answer any questions you may have about the plans for the expanded athletic facilities and renovations to the student center. We hope that you will be able to stop by at that time.

If you are unable to attend this meeting but would like more information about our plans, please contact me by phone at 860.231.5220 or by email at sharrington@usj.edu.

Thank you for your continued interest in, and support of, the University of Saint Joseph.

Sincerely,

A handwritten signature in black ink, appearing to read 'Shawn M. Harrington'.

Shawn M. Harrington
Senior Vice President for Finance and Strategy

University of Saint Joseph – Athletic Field Renovations (IWWA & SUP)

Project Narrative

February 19, 2019



The University of Saint Joseph is seeking approval from the Town of West Hartford for the construction of a new multi-sport synthetic turf field and upgraded field lighting. Athletics are an integral component of student life at Saint Joseph's, and the University is looking to enhance and upgrade its current amenities. The proposed project development area is located at the northwest end of campus, within the footprint of the existing track and field. The track and natural grass field are in poor condition, and the University intends to remove these amenities and replace them with one new, lighted, multi-purpose synthetic turf field to support the University's field hockey, soccer, and lacrosse programs.

The construction of the new synthetic turf field will occur entirely within previously disturbed areas. There will be no new impacts to surrounding trees, vegetation, or parking areas, and there will be no significant changes to actual land uses on the site. No additional parking is proposed as part of this project.



Project Development Area – Aerial Context

The main component of the project is the construction of a new synthetic turf field. Overall dimensions of this field are 269' x 394', providing the University with an improved playing surface to support its lacrosse, soccer, and field hockey programs. Ball safety netting (12' height) is proposed at both north and south ends of the field.

The six (6) existing athletic field lights will be removed and replaced with four (4) LED athletic field lights. The six existing light poles are approximately 35' in height. The four proposed light poles will be eighty (80) feet in

University of Saint Joseph – Athletic Field Renovations (IWWA & SUP)

Project Narrative

February 19, 2019



height in order to provide the NCAA minimum lighting standard. The height of the LED light fixtures provides increased capability to control off-field light spill and glare.

In addition to the athletic field lighting, electrical improvements to the facility will include relocating the existing scoreboard (to provide better sightlines for spectators), and providing power to selected locations around the perimeter of the new field for scoring, timing, and streaming.

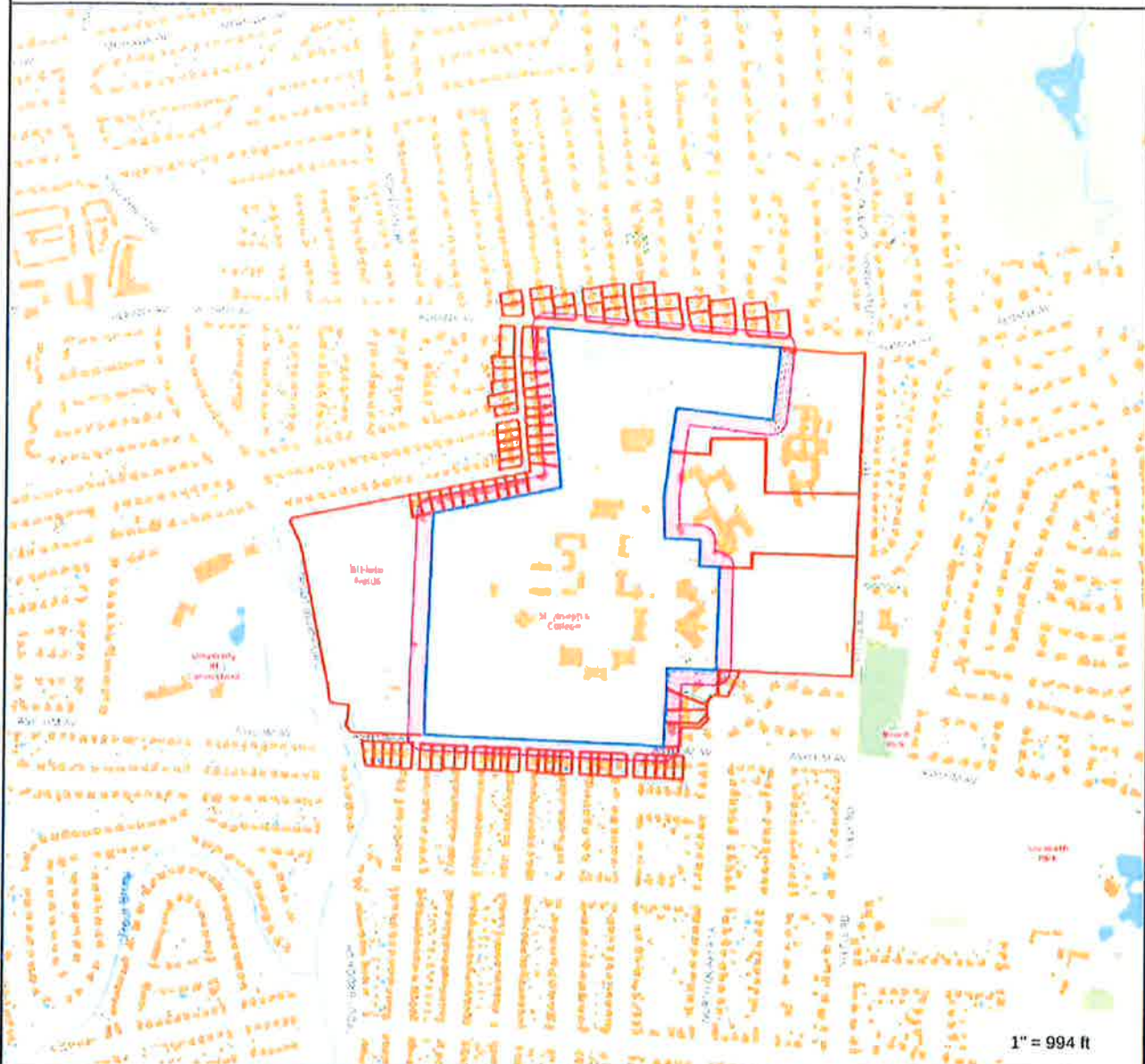
Prior to the construction of the new field, the existing track surfacing and asphalt pavement will be demolished and removed from the site, except for the southern end ('D-Zone'). This will remain in place to act as staging and laydown area for construction operations. The existing track and field base and subbase material will be removed and repositioned as a subbase material under the proposed field stone drainage material. The proposed synthetic turf field area will be stripped of all topsoil, graded to subgrade elevations, and covered with geotextile fabric. Perimeter collector pipes and drainage infrastructure will be installed in conjunction with a 12" section of compacted 'dynamic stone'. Total depth of field improvements will be 18" in conformance with geotechnical engineer recommendations.

Drainage design will maintain current drainage patterns. The synthetic turf field will drain vertically through the stone base material and be collected in a series of flat underdrain panels. Panel discharge will be collected and routed to the existing 36" drainage system that exits the project site to the southwest.

All site work will be constructed using best management practices in accordance with the Inland Wetlands and Watercourses Regulations of the Town of West Hartford, the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, and the 2004 Connecticut Stormwater Quality Manual. Temporary controls will be implemented in accordance with the Connecticut Soil and Erosion Control Manual, including; dewatering filtration, silt sacks, silt fencing, and hay bales. Prior to permanent stabilization of the site, temporary controls upstream of connections to the outfall will be maintained to prevent siltation into the stormwater system. These controls include storm drainage inlet protection and silt fencing.

The project development area is currently surrounded by mature trees and vegetation which will remain. All disturbed areas will be seeded or sodded. No additional landscaping improvements are proposed.

USJ Mailing Abutters Map

**Property Information**

Property ID 0181 2 1678 0001
Location 1678 ASYLUM AVENUE
Owner UNIVERSITY OF SAINT JOSEPH

**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of West Hartford, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 8/1/2018
Data updated Daily

DAVIDSON ELLINOR W
or Current Property Owner
28 WILTSHIRE LANE

WEST HARTFORD, CT 06117

DIEHL GEORGE SANDY III
or Current Property Owner
7 NORWOOD ROAD

W HARTFORD, CT 06117

ARI IDDO BEN + NAOMI NEVO
or Current Property Owner
263 GRISWOLD DRIVE

W HARTFORD, CT 06119

GOLDBERG RODNEY
or Current Property Owner
PO BOX 671

COLCHESTER, CT 06415

DUBROW VICTOR ADAM + BLAINE
or Current Property Owner
29 WILTSHIRE LANE

W HARTFORD, CT 06117

TU CHAM K + VAN T HOANG
or Current Property Owner
11 LAWLER ROAD

WEST HARTFORD, CT 06117

KIANG LI-DU + YUN
or Current Property Owner
29 LAWLER ROAD

W HARTFORD, CT 06117

MULLANEY THOMAS F JR + MARY S
or Current Property Owner
8 PILGRIM ROAD

WEST HARTFORD, CT 06117

KLUE RUTH ANNE
or Current Property Owner
1669 ASYLUM AVENUE

WEST HARTFORD, CT 06117

WALSH MAUREEN A
or Current Property Owner
1717 ASYLUM AVE

WEST HARTFORD, CT 06117

IPACS KATHLEEN
or Current Property Owner
1677 ASYLUM AVENUE

WEST HARTFORD, CT 06119

HUGILL CHRISTOPHER G + DANIELLE
or Current Property Owner
22 WILTSHIRE LANE

W HARTFORD, CT 06119

APPLEBAUM ERIC J + BRESLIN-APPLEBAUM
TARA H\nBRESLIN-APPLEB
or Current Property Owner
14 WILTSHIRE LANE

WEST HARTFORD, CT 06107

HERRMANN PETER A + JUDITH
or Current Property Owner
35 WILTSHIRE LANE

WEST HARTFORD, CT 06117

FAWBER ELLA H
or Current Property Owner
9 WILTSHIRE LANE

W HARTFORD, CT 06117

RAMY HOMES LLC
or Current Property Owner
115 PROSPECT STREET

WATERBURY, CT 06702

OTTANI STACY A
or Current Property Owner
1733 ASYLUM AVENUE

W HARTFORD, CT 06117

PRETASHI PJETER + FLORA
or Current Property Owner
1713 ASYLUM AVENUE

W HARTFORD, CT 06117

PEARSON MARILYN G
or Current Property Owner
2 BRAINARD ROAD

WEST HARTFORD, CT 06117

MILLER STUART S + LAURA N
or Current Property Owner
21 WILTSHIRE LANE

WEST HARTFORD, CT 06117

GREATER HTFD ASSN FOR RETARDED
CITIZENS
or Current Property Owner
900 ASYLUM AVENUE

HARTFORD, CT 06105-1985

RADOMSKI DAVID H + JANET S
or Current Property Owner
260 PENN DRIVE

WEST HARTFORD, CT 06119

DELLAFERA MICHAEL
or Current Property Owner
5 MIAMIS ROAD

W HARTFORD, CT 06117

LIBBY HARRY S + JOAN G
or Current Property Owner
2 WILTSHIRE LANE

WEST HARTFORD, CT 06117

DIAMOND STANLEY + BETH
or Current Property Owner
5 LAWLER ROAD

WEST HARTFORD, CT 06117

LEU TUAN M + TUYET A HOANG
or Current Property Owner
15 LAWLER ROAD

WEST HARTFORD, CT 06117

GAMESTER JAY SCOTT + TRACY L BAUMERT
or Current Property Owner
31 WILTSHIRE LANE

WEST HARTFORD, CT 06117

BEAUDRY DENISE H
or Current Property Owner
1719 ASYLUM AVE

WEST HARTFORD, CT 06117

PINNIX MECKLA B
or Current Property Owner
1671 ASYLUM AVENUE

WEST HARTFORD, CT 06117

FAZIO GILBERT W SR
or Current Property Owner
20 WILTSHIRE LANE

WEST HARTFORD, CT 06117

LEDER HELENE S + JOSHUA N
or Current Property Owner
33 WILTSHIRE LANE

WEST HARTFORD, CT 06117

SERDAR ZEYNEP + CAN ENVER B
or Current Property Owner
6 BRAINARD ROAD

WEST HARTFORD, CT 06117

JACOBS ROBYN
or Current Property Owner
2 NORWOOD ROAD

WEST HARTFORD, CT 06117

MCGUINNESS RITA A
or Current Property Owner
2 MIAMIS ROAD

WEST HARTFORD, CT 06117

HUSBAND CHRISTOPHER J + KATHERINE R
or Current Property Owner
1701 ASYLUM AVENUE

WEST HARTFORD, CT 06117

GONCALVES FILIPE D
or Current Property Owner
32 WILTSHIRE LANE

WEST HARTFORD, CT 06117

LEARY NEIL + JOANNA
or Current Property Owner
6 NORWOOD ROAD

WEST HARTFORD, CT 06117

PAREKH AKUR P + NEHA D + PATEL DILIP M
or Current Property Owner
15 BUCKINGHAM LANE

WEST HARTFORD, CT 06117

LIU MINGYI C TR
or Current Property Owner
1735 ASYLUM AVENUE

WEST HARTFORD, CT 06117

DELANEY THOMAS P III + BAER KRISTEN N
or Current Property Owner
30 WILTSHIRE LANE

WEST HARTFORD, CT 06117

MASSE JANE TR
or Current Property Owner
1703 ASYLUM AVENUE

WEST HARTFORD, CT 06117

SPEERS JUSTIN + ESPOSITO NICOLE
or Current Property Owner
1681 ASYLUM AVENUE

WEST HARTFORD, CT 06117

HEGARTY JOHN M + MARITZA VELASQUEZ
or Current Property Owner
23 LAWLER ROAD

WEST HARTFORD, CT 06117

WOODS CORBIN TAYLOE BEALE PIERSON +
STEP
or Current Property Owner
31 LAWLER RD

W HARTFORD, CT 06117

MIELNICZUK MARY ANN
or Current Property Owner
1729 ASYLUM AVENUE

WEST HARTFORD, CT 06107

MCGURK ERIN K
or Current Property Owner
1741 ASYLUM AVENUE

WEST HARTFORD, CT 06117

GILBEAUX JOHN C + KATHLEEN M KINDLE
or Current Property Owner
1749 ASYLUM AVENUE

W HARTFORD, CT 06117

PASTERNAK KEVIN I + KATHLEEN A
or Current Property Owner
11 BRAINARD ROAD

WEST HARTFORD, CT 06117

GERSHON ABNER S + JULIE S
or Current Property Owner
19 BUCKINGHAM LANE

WEST HARTFORD, CT 06119

BACHAND CAROLINE J
or Current Property Owner
1675 ASYLUM AVENUE

WEST HARTFORD, CT 06117

MURRAY WILLIAM
or Current Property Owner
1693 ASYLUM AVENUE

W HARTFORD, CT 06117

DOHERTY ROBERT F
or Current Property Owner
2200 ALBANY AVENUE

WEST HARTFORD, CT 06117

DELEO DONALD
or Current Property Owner
2185 ALBANY AVENUE

WEST HARTFORD, CT 06117

LYNCH MICHAEL WILLIAM + ELEANOR P
or Current Property Owner
6 MIAMIS ROAD

W HARTFORD, CT 06117

KRAWCZYK BARTLOMIEJ + JENNY
or Current Property Owner
3 BRAINARD ROAD

W HARTFORD, CT 06117

WHALEN SYLVIA S
or Current Property Owner
1715 ASYLUM AVENUE

WEST HARTFORD, CT 06117

TOWN OF WEST HARTFORD
or Current Property Owner
50 SOUTH MAIN STREET

WEST HARTFORD, CT 06117

KHAN QAISER A + SHARON E
or Current Property Owner
11 WILTSHIRE LANE

WEST HARTFORD, CT 06117

HAMILTON CORNELIA W TR
or Current Property Owner
2205 ALBANY AVENUE

WEST HARTFORD, CT 06117

HANSEN SUSAN FORBES
or Current Property Owner
36 WILTSHIRE LANE

WEST HARTFORD, CT 06106

HENEGHAN MICHAEL RYAN + KARLI V
or Current Property Owner
7 PILGRIM ROAD

WEST HARTFORD, CT 06117

PELLETIER, DIANE PELLETIER, RONALD
or Current Property Owner
17 LAWLER ROAD

WEST HARTFORD, CT 06117

MCAULEY CENTER INCORPORATED C/O
FINANCE DEPARTMENT
or Current Property Owner
275 STEELE ROAD

WEST HARTFORD, CT 06117

RUEL JAMES M + ABIAH B
or Current Property Owner
28 BUCKINGHAM LANE

WEST HARTFORD, CT 06117

FARRAH REBECCA + HOAGLAND DANIEL
or Current Property Owner
26 WILTSHIRE LANE

WEST HARTFORD, CT 06117

FINTECH VILLAGE LLC
or Current Property Owner
55 BROADWAY 19TH FLOOR

NEW YORK, NY 10007

KURSMAN ANDREW S + DEBORAH L
or Current Property Owner
3 NORWOOD ROAD

WEST HARTFORD, CT 06117

POLATE NIZHI + POLATE AVRAHAM
or Current Property Owner
17 BEN-GURYON STREET

RA'ANANA, IS 0

PEDERSEN JAMES L L/U + SUSAN V L/U ET A
or Current Property Owner
1745 ASYLUM AVENUE

W HARTFORD, CT 06117

YEARWOOD RODNEY D + MONICA J
or Current Property Owner
7 BRAINARD ROAD

WEST HARTFORD, CT 06117

HAROVAS JOAN
or Current Property Owner
407 AUBURN ROAD

W HARTFORD, CT 06119

LINDAUER ROBERT H JR + PETTIJOHN
BARBARA ANN
or Current Property Owner
9 LAWLER ROAD

WEST HARTFORD, CT 06117

OKEEFE JAMES P + EDWARD C FAITELLA
or Current Property Owner
264 GRISWOLD DRIVE

WEST HARTFORD, CT 06107

GREEN MARGARET E
or Current Property Owner
10 WILTSHIRE LANE

WEST HARTFORD, CT 06117

ELITE HOUSING LLC
or Current Property Owner
115 PROSPER STREET

WATERBURY, CT 06702

WILLEN SARAH S + WOGENSTEIN SEBASTIAN
or Current Property Owner
4 PILGRIM ROAD

WEST HARTFORD, CT 06117

ROST ALLEN V + LUCY A
or Current Property Owner
24 WILTSHIRE LANE

WEST HARTFORD, CT 06117

BITTON ANDRE + TUNITSKY-BITTON ELENA
or Current Property Owner
8 SEQUIN ROAD

WEST HARTFORD, CT 06117

BYRNE RENA + STEPHEN
or Current Property Owner
25 LAWLER ROAD

WEST HARTFORD, CT 06117

WITHERS TONG RAYMOND K + MEGHAN P
or Current Property Owner
3 LAWLER ROAD

WEST HARTFORD, CT 06117

MURRAY LORI K + MURRAY LORI K TR
or Current Property Owner
7 SEQUIN ROAD

WEST HARTFORD, CT 06117

UNIVERSITY OF SAINT JOSEPH
or Current Property Owner
ADMINISTRATIVE OFFICE
1687 ASYLUM AVENUE
WEST HARTFORD, CT 06117

ARONSON JILLIAN S + FELDMAN JOSHUA R
or Current Property Owner
10 BRAINARD ROAD

WEST HARTFORD, CT 06107

CHANG ERIC + ELISE Z
or Current Property Owner
11 BUCKINGHAM LANE

WEST HARTFORD, CT 06117

SALERNO EDWARD + MARY
or Current Property Owner
1699 ASYLUM AVENUE

WEST HARTFORD, CT 06117

LONG GEORGE
or Current Property Owner
2 WILLIAM CIRCLE

STRATHAM, NH 03885

CRAIG ALISA
or Current Property Owner
15 WILTSHIRE LANE

WEST HARTFORD, CT 06117

GELB SALLY
or Current Property Owner
3 SEQUIN ROAD

WEST HARTFORD, CT 06117

TORINO CHRISTOPHER J + TARA M
or Current Property Owner
17 WILTSHIRE LANE

WEST HARTFORD, CT 06117

DOLLINGER JAY
or Current Property Owner
3 PILGRIM ROAD

WEST HARTFORD, CT 06107

ST MARYS HOME INCORPORATED
or Current Property Owner
2021 ALBANY AVENUE

W HARTFORD, CT 06117

QUESNEL STEPHEN
or Current Property Owner
40 WILTSHIRE LANE

WEST HARTFORD, CT 06117

MACKO MICHELLE
or Current Property Owner
1747 ASYLUM AVENUE

WEST HARTFORD, CT 06117

TUCKER JOSEPH W
or Current Property Owner
1691 ASYLUM AVENUE

WEST HARTFORD, CT 06117

JAY MARCIAL REMUDARO + AMANDA
or Current Property Owner
5 COLONY ROAD

WEST HARTFORD, CT 06117

STEELE ROAD LLC
or Current Property Owner
C/O THE METRO REALTY GROUP LTD
6 EXECUTIVE DRIVE STE 100
FARMINGTON, CT 06032



UNIVERSITY OF SAINT JOSEPH

CONNECTICUT

Neighborhood Meeting on Construction Plans Minutes February 28, 2019

In Attendance:

University of Saint Joseph: Rhona Free, President; Shawn Harrington, Senior Vice President for Finance and Strategy; Andrew Levesque, Director of Facilities.

SMRT, Architects and Engineers: Richard Webb, Senior Principal and John McMeeking, Landscape Engineer

Meeting summary:

- a) An informational meeting was scheduled for neighbors who had questions about the upcoming construction projects at the University of Saint Joseph.
-

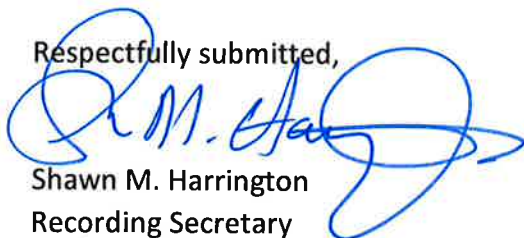
The meeting was scheduled to begin at 7:00 p.m.

The room held renderings of the new construction and information materials about the turf field and lighting. University staff and the civil engineers were prepared to discuss the project, answer any questions, and address concerns from residents in the neighborhood. Neighbors (those within 300 feet of the University had been invited via an informational letter sent on February 21, 2019).

No neighbors attended the meeting.

The meeting adjourned at 8:00 p.m.

Respectfully submitted,


Shawn M. Harrington
Recording Secretary

Harrington, Shawn

From: Thomas Mullaney <tmullaney@mkwinc.com>
Sent: Monday, March 18, 2019 9:04 AM
To: Harrington, Shawn
Cc: Kealey, Barbara; Foxman, Ruth
Subject: RE: NEW SPORTS FIELD and LIGHTING

If I had been in town I would have attended the meeting.

I assume that the new lights will be more powerful than the old ones which is a concern that no protocol can diminish. Time will tell how much the new facility will diminish my quiet enjoyment of my home. The university's track record in keeping its promise to my wife about planting trees along the Albany Avenue boundary is not encouraging.

Thomas F. Mullaney, Jr.
 8 Pilgrim Road

From: Harrington, Shawn [mailto:sharrington@usj.edu]
Sent: Friday, March 15, 2019 5:22 PM
To: Thomas Mullaney <tmullaney@mkwinc.com>
Cc: Kealey, Barbara <bkealey@usj.edu>; Foxman, Ruth <rfoxman@usj.edu>
Subject: RE: NEW SPORTS FIELD and LIGHTING

Dear Mr. Mullaney,

Thank you for your response to our neighborhood outreach letter of February 21, 2019 regarding plans by the University to expand its' athletic facilities and provide renovations to the existing student center. We appreciate that you may have concerns regarding potential increase in activity on the campus from the planned renovations but we hope to put you at ease.

I am sorry we did not have an opportunity to discuss your concerns with you in person at the informational meeting held on our campus on Thursday, February 28, 2019. University officials and project team members were prepared to explore more fully the plan details including the Universities proposed policy governing sound and lighting for athletic field use. We modeled the policy on the use protocols employed by the Town of West Hartford with regard to the lit football fields at Conard and Hall high schools.

You can be assured that the University will adhere to a protocol for night-time field use that is intended to minimize any disruption to the neighborhood. I note that the field and track where the new lights are being installed is currently illuminated by 60' high lights that remain lit until at a minimum of 10 pm to accommodate games, practices and public use. We will turn the new lights off by 9:30 pm at the latest, unless a game goes into overtime or is otherwise extended for an unexpected reason.

As for the potential for causing parking overflow onto your street, we are confident that the new lighting proposed for the athletic field will have no negative impact in that regard. Lighting currently exists for the track and field. While there may be more games played on the field now that we have both women's and men's teams, the parking for any game is currently accommodated on campus. There is no reason to believe

that the improved lighting will change that given all the available parking on campus, particularly as games are usually played after school hours

I would be happy to discuss this with you in more detail, or answer any additional questions or concerns, either by telephone or by a meeting on campus at your convenience. Please don't hesitate to contact me directly at 860-231-5220.

Kind Regards.

Shawn M. Harrington
Senior Vice President for Finance and Strategy
University of Saint Joseph
1678 Asylum Avenue
West Hartford, CT 06117

860-231-5220
sharrington@usj.edu



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From: Thomas Mullaney <tmullaney@mkwinc.com>
Sent: Sunday, March 10, 2019 12:20 PM
To: Harrington, Shawn <sharrington@usj.edu>
Subject: NEW SPORTS FIELD and LIGHTING

I am concerned that events will be held well into the night with your proposed new lights. This may also cause attendees parking on my street. Can you assure me the SJU will follow a strict policy of limiting night events?

Thomas F. Mullaney, Jr.
8 Pilgrim Road

Harrington, Shawn

From: Harrington, Shawn
Sent: Friday, March 15, 2019 5:15 PM
To: 'Allen Rost'
Cc: Kealey, Barbara; Foxman, Ruth
Subject: RE: USJ Expanded Athletic Facilities

Dear Mr. Rost,

Thank you for your response to our neighborhood outreach letter of February 21, 2019 regarding plans by the University to expand its' athletic facilities and provide renovations to the existing student center. We appreciate that you may have concerns regarding potential increase in activity on the campus from the planned renovations but we hope to put you at ease.

I am sorry we did not have an opportunity to discuss your concerns about the new field with you in person at the informational meeting we held on our campus on February 28, 2019. University officials and project team members were prepared to explore more fully the plan details including the Universities proposed policy governing sound and lighting for the athletic field use. We modeled our policy on the use protocols employed by the Town of West Hartford with regard to the lit football fields at Conard and Hall high schools.

You can be assured that the University will adhere to a protocol for night-time field use that is intended to minimize any disruption to the neighborhood. I note that the field and track where the new lights are being installed is currently illuminated by 60' high lights that remain lit until at least 10 pm every night to accommodate games, practices and public use. We had incorrectly noted in our application that the existing lights are only 35' high. While the light illuminating the field will now be brighter to meet the minimum NCAA college athletic requirements, the area of illumination will not extend beyond the campus. There may be more games after dark going forward given that we now have men and women sporting events. However, we will turn the new lights off by 9:30 pm at the latest, a potential benefit for you, unless a game goes into overtime or is otherwise extended for an unexpected reason. Further, there is no sound system proposed as part of our athletic field upgrade.

As for the potential for additional traffic in your backyard, we are confident that the new lighting proposed for the athletic field will have minimal impact in that regard. We currently host many evening activities of all kinds on the campus. Any traffic generated by games played on the field after dark, typically soccer and lacrosse, are just not major generators of traffic. We expect that additional vehicle traffic will be absorbed as an undistinguishable part of the overall campus evening activity. Parking will be easily accommodated on campus.

I would be happy to discuss this with you in more detail, or answer any additional questions or concerns, either by telephone or by a meeting on campus at your convenience. Indeed, I believe a meeting with you and the other immediate neighbors who may share your concerns would be a very good idea. Please contact me directly at 860-231-5220. I look forward to hearing from you.

Kind Regards.

Shawn M. Harrington

Senior Vice President for Finance and Strategy
University of Saint Joseph
1678 Asylum Avenue
West Hartford, CT 06117

860-231-5220

sharrington@usj.edu



UNIVERSITY OF SAINT JOSEPH
CONNECTICUT

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From: Allen Rost <4rosts@gmail.com>
Sent: Tuesday, March 12, 2019 7:26 PM
To: Harrington, Shawn <sharrington@usj.edu>
Subject: USJ Expanded Athletic Facilities

Dear Mr. Harrington,

I appreciate you reaching out to our community with respects to the University of Saint Joseph's plans to expand your athletic facilities. I am writing to you at this time because we happen to be one of your closest neighbors and have some reservations about your upcoming plans. While the overall footprint is not expanding my neighbors and I share a few concerns.

Our largest concern is that we've seen the atmosphere at USJ really change beginning last summer. The noise level has gone from just laughter and air whistles on Saturday afternoons, to music cranked so loud that I can hear it in every room in my house. With your light stands doubling in size, it only means that you're preparing to host many more night time activities. I'm very concerned about the noise and traffic in my backyard. Right now we have nothing separating you from us, but a handful of our own trees.

I certainly want USJ to be successful, it is good for everyone, but having Friday night lights in my backyard is concerning. I'm hoping you can share your plans with us before your public proposal on April 1st.

Sincerely,

Allen Rost
24 Wilthshire Ln
West Hartford